



PINNACLE RIDGE HILLSIDE **DESIGN GUIDELINES**

JUNE 2026

ARCHITECTURAL REVIEW PROCESS

The Pinnacle Ridge Hillside Design Guidelines are intended to provide direction for site planning, architecture, landscape design, exterior materials, and other site improvements throughout the community. While consistency in overall neighbourhood character is encouraged, individual designs are also encouraged to respond to the unique conditions of each Homesite, including topography, views, vegetation, solar orientation, and adjacent development. The Guidelines are intended to support a high standard of design excellence reflecting Anmore's semi-rural character.

Prior to submitting for a Building Permit, all proposed buildings, landscape works, retaining walls, fencing, exterior lighting, and other improvements identified within these Guidelines shall receive Preliminary Approval by the following designated Architectural Control Reviewer to ensure substantial compliance with these Design Guidelines:

EKISTICS Town Planning, Steven Beyer or Ron Baerg

In addition to original construction, any subsequent improvements, replacements, repairs or alterations to a Lot shall be subject to design review and approval by the Architectural Control Reviewer, regardless of whether a Building Permit is required.

The Architectural Control Reviewer may consider minor variations or alternative design solutions where the overall intent and character of the neighbourhood is maintained.

These Guidelines are intended to complement, and not replace, applicable Village of Anmore bylaws, development permit requirements, engineering standards, and BC Building Code regulations.

These design guidelines shall have no further force or effect after twenty (20) years from the date of registration of these design guidelines in the Land Title Office and shall be considered discharged from all of the lots by the passage of time.

See Section 5 at the end of this document for review submittal details and Architectural Control Reviewer's contact information.





SITE DEVELOPMENT DESIGN GUIDELINES

In keeping with the vision for Pinnacle Ridge Hillside, the site development principles reflect a desire to:

- Respect and enhance Anmore's semi-rural character;
- Create indoor spaces that are natural extensions of the outdoors, and that take maximum advantage of the climate and hillside landscape;
- Use plants, landscape structures and architectural details that respect the local context and semi-rural character;
- Protect and enrich the natural terrain features of the site; and
- Utilize a site-adaptive approach that defines a building footprint by its shape from the natural form of the Homesite.





EASEMENTS AND STATUTORY RIGHTS OF WAYS

Easements, restrictive covenants, statutory rights of ways and other encumbrances on the Homesite are described in the purchase and sale agreement and review by the Architectural Control Reviewer may be required for improvements near these easements or statutory rights of ways.

SITE DRAINAGE

While rainwater drainage has been incorporated into the neighbourhood street design, individual properties must manage rainwater drainage within their Homesite.

Guidelines for rainwater management include capturing water as close to where it falls and preventing concentrated runoff and erosion. Homesites shall not divert stormwater to adjacent properties. Preserving natural drainage patterns is encouraged, where feasible, so as to safeguard existing hydrological functions.

Strategies for rainwater management may involve redirecting roof downspouts to street drainage or using splash pads to disperse water away from homes. Proper dispersal includes directing downspout water over permeable surfaces like lawns or gardens and utilizing pipes if the area around the downspout is paved.

SITE GRADING

While site grading has been incorporated into the neighbourhood design, individual properties must finalize the grading within their Homesite.

To preserve the local character, grading should mimic the variation of the surrounding hillsides and should direct water away from building or structure footings. Extensive grading, cutting and/or filling of Homesites, or alteration of grades in excess of 1.5 metres, will require review by the Architectural Control Reviewer prior to excavation.

Catch basins and drainage piping may be required for surface and roof drainage control. Compliance with the Village of Anmore's regulations is required for discharging pool or hot-tub filter backwash systems.

DRIVEWAYS

Driveways should be designed to minimize visual dominance and excessive paving. For driveways, preferred materials are integral-colour or stained concrete, textured integral-colour concrete, and/or masonry; asphalt finishes are not permitted. For Townhomes and Semi-detached homes, it is preferred all driveways use concrete pavers. Driveways must be a minimum of 600 mm (2 ft.) from the side lot line. All driveways within a lot should be the same material, color and finish. Owners are responsible for meeting the Village of Anmore's driveway grade and emergency vehicle access requirements. Also see Section 4 Landscape.

WALKWAYS

Walkways should be consistent in design with the driveway, and may be constructed of unit pavers, exposed aggregate, patterned concrete or poured in-place concrete and may incorporate brickwork or stone, either in the form of edge treatment, dividing lines, decorative panels, or as pads at the base of front steps. The front walkway must be at least 1m (3'-6" nominal) in width. Also see Section 4 Landscape.

EXTERIOR LIGHTING

The neighbourhood prioritizes preserving the dark night sky for residents and visitors to enjoy. To achieve this and to ensure adequate lighting is provided for the development, specific exterior lighting requirements are subject to review by the Architectural Control Reviewer.

The Village does not require street lighting, but lighting is recommended for minimum safety using rural-appropriate spacing consistent with TAC and IESNA guidelines for low-volume rural roads.

Use of energy-efficient exterior lighting systems, including daylight sensing automation and LED fixtures, is encouraged, especially for pedestrian safety.

SCREEN WALLS / FENCES

Screen walls or fences should complement the home's design. Use of screen or louvre sections is encouraged in walls to maintain connections to the street and allow for the play of light and air. Screen walls may not be used to delineate setback lines and/or property lines for long distances and must be attractive from both sides. They shall not exceed a height of 1.5m as measured from the adjacent finish grade.

Horizontal and vertical stepping and staggering of walls and screens is encouraged, with careful attention to the engagement of masses, the articulation of overlapping planes, and the stepping of wall heights.



All finish materials on screen walls and fences must comply with the Architectural Design Guidelines found in Section 3. Also see Section 4 Landscape. Chain link or other metal fences, railway or landscape ties, or diagonal lattice work shall not be permitted unless otherwise permitted by the Architectural Control Reviewer.

RECREATIONAL EQUIPMENT

Recreational equipment should be thoughtfully integrated into the site design and screened from prominent public view where practical. Sports Courts and Swimming pools are permissible, and to be constructed in backyards only.

RETAINING WALLS

Retaining walls may be desirable on lots that back onto slopes but should not mark setback lines and/or property lines for long distances. A single unbroken wall must not exceed 12m in length. When necessary to break up walls, the minimum wall to wall offset shall be 1.25m.

Walls running parallel to other walls and site improvements at a consistent height should be avoided. Seat walls should be incorporated into retaining walls whenever appropriate, set at 450mm (18 in.) height.

For retaining conditions over 1.5m, multiple stepped walls should be used with wide planters between the top of the lower wall and the base of the upper wall. The planter depth (width) should be half that of the retaining wall height.

Where retaining walls are constructed in the front yard (and in flanking yards on corner Homesites) or in areas adjacent to parks or public walkways, they are to be constructed of natural stone or faced with natural or cultured stone, or utilize boardform or architectural concrete finish or small block retaining systems such as Allan Block or Versa-Lok. Use of wood or heavy timbers, jumbo-sized concrete brick, and exposed concrete retaining walls are prohibited. Also see Section 4 Landscape. All walls will be subject to review by the Architectural Control Reviewer.

EXTERIOR SERVICE AREAS

All above-ground garbage and trash containers, mechanical equipment and other outdoor maintenance and service facilities must be screened from view from the public realm. Exterior clotheslines are not permitted. Also see Section 4 Landscape.

ARCHITECTURE DESIGN GUIDELINES

One of the primary objectives of any architecture is the appropriate response to a site and its context. Architectural guidelines are intended to conceptually illustrate building and design elements and key design principles in order to establish a common architectural language for the community.

These Guidelines are intended to allow for variety and flexibility to capitalize on the natural setting, local climatic conditions and unique characteristics of each Homesite with the intention of maintaining a specific character for the neighbourhood.

The style of Pinnacle Ridge Hillside is inspired by the local hillside landscape, the wet west coast climate and the moderate temperatures that encourage indoor-outdoor living.

This new neighbourhood seeks to retain Anmore's semi-rural character, which expresses itself in the lifestyles of residents and the relaxed 'country-type style' of the community.

Creativity is encouraged in all designs as long as proper proportion, scale, attention to detail and site integration are achieved. In doing so, the sense of a harmonious community will be created; one that matures gracefully while appreciating in value.





ARCHITECTURAL PRINCIPLES

In keeping with the vision for the site, the architectural principles reflect a desire to create a character suitable to this natural, treed hillside site, to support a lifestyle that connects the inhabitants with the landscape and to encourage a strong neighbourhood identity and sense of place. The architecture is inspired by the dynamic beauty of the surrounding landscape. More specifically, the architecture should:

- Provide housing types and forms that embrace the landscape setting to create a strong neighbourhood identity and architectural language;
- Provide appropriate plans that support the active and 'country style' lifestyle of the neighbourhood;
- Create features that encourage interaction between neighbours in the community;
- Encourage opportunities for indoor-outdoor living in practical and functional ways;
- Acknowledge the textures and colours of the local landscape through the use of materials and colours that harmonize with the natural surroundings;
- Consider the climatic conditions of Anmore, as well as the subtler micro-climatic factors of sun, shade, rain and wind – as a principle driver in the design and development of your home; and
- Respect and enhance the existing semi-rural character of Anmore.

BUILDING FORM

Simple Geometries

Building form is a determining factor in the design of the home style and is made up of simple geometries with at least three distinct geometric elements on both the front and rear elevations. Layered horizontal façade and roof elements hold the building geometries together.

Expression of Entry

Each home should have a subtle yet clear expression of entry. Entry elements shall address the street and provide a clear direction towards the door. The feature elements can be a projecting roof form, walls, screens or planters that extend the architecture of the home into the landscape and announce the arrival to the home.

Townhome Streetscape

Townhome developments should contribute to an active and pedestrian-oriented streetscape through the use of clearly defined entrances, front porches, landscaping, windows overlooking public spaces, and varied façade articulation. All residential units facing streets should have entries oriented towards, and be clearly accessible and visible, from the street.

Building Projections

Building projections can be varied and complex. Elements can wrap around and engage forms to link different parts of the building together.



Transition Areas

Townhomes abutting single-family homes should aim for a harmonious transition, creating a "soft-edge". This can be achieved through various methods such as selecting complementary building materials and rooflines.

Asymmetry

The character of the home can be asymmetrical with dominant and secondary elements. Building forms should incorporate layered massing and articulated roof elements to create visual interest and reduce perceived scale. The architecture expresses contrasting forms of open and solid, roof overhang and parapet.

Asymmetrical windows and openings are placed to take advantage of views or light and to complement the geometric forms of the building.

Garage Form

The overall garage mass and roof form should not dominate the front elevation of the home. The garage should be deliberately downplayed in the context of the front façade of the home.

Although the garage face will typically take up a significant portion of the front façade, the entrance and habitable portions of the house must be the dominant features.

For attached residential forms, garages and parking access should be integrated into the overall building composition. Exposed parking structures should be avoided. Where portions of the underground parking are exposed, they should match the building color and finish.

Architectural Style

The architectural style emphasizes the following elements:

- Solid - the face or surface of the building with punched out doors, windows or openings.
- Void - doors, windows and other openings.
- Articulation of building facades, particularly facing the street with bay windows, recessed porches and overhangs are encouraged.
- Attached residential buildings should incorporate variation in façade treatment, materials, colours, roof forms, and entry design to help define individual units and reduce perceived building mass.
- Homes on corner lots with exposed side elevations should incorporate variations in massing and openings to create an appealing façade.
- Building design, materials, colours, and landscaping that reflect elements found in the surrounding residential area should be used.



ROOFS

Form

- Roofs are an important component of the neighbourhood character and should be carefully designed to complement the architectural form of the home and surrounding streetscape.
- Pitched roofs should remain the predominant roof form throughout the neighbourhood. Alternative roof designs may be considered when effectively integrated into an overall building design that complements the surrounding neighbourhood.
- Shed, gable, hip and flat roofs or a combination of these forms are encouraged. Large monolithic roof forms should be avoided.



Hip Roofs

Hip roofs may be used as a roof form.

Hip roofs will help to downplay the height of taller façades. Hip roofs bring a consistent soffit expression to a home with the roof reading as a lid or cap over the structure of the home.



Gable Roofs

Gable roof forms are an acceptable roof form.

Gable ends should be thoughtfully integrated into the overall architectural expression of the home



Shed Roofs

Homes with low slope shed roof forms are acceptable, providing they meet all municipal regulations.



Flat Roofs

Flat roofs may be used in limited areas either as transitional roof in the body of the house or roofs to cover outdoor space.

Flat roofs should be carefully integrated into the overall building composition and roof design.



Roof Decks

Roof decks are allowed and should be thoughtfully integrated into the roof design with consideration for privacy, overlook, and visual impact. Provision of storage space on the roof for furniture during the winter months or during a storm is encouraged.



Canopies

Canopies are encouraged to announce the entry and provide a statement in contrast to the garage face.

Canopies should incorporate simple, refined structural expressions consistent with the architectural character of the home.



Material

Standing seam metal and asphalt shingle roofs are the acceptable sloped roof materials. Metal roofs are permitted, provided they are designed to mitigate reflectivity and do not cause objectionable glare.

Standing seam or batten seam metal roofs are encouraged where designed to complement the architectural character of the home and minimize reflectivity.

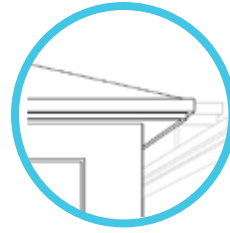
Visible flat roof areas should incorporate high-quality, durable roofing materials appropriate to the architectural expression of the building.

Roofing membranes and flashing should be carefully integrated into the roof design. Roof penetrations, flashing, and mechanical venting should be thoughtfully integrated into the overall roof design.

On shed or hip roofs, shingles are permitted on the primary roof volumes only. Shake-style asphalt or fiberglass shingle roofs must be natural in appearance, colour, and texture.

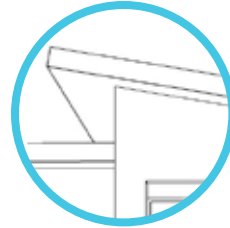
Overhangs

The roofs on the home are meant to appear light and refined. Roof overhangs should appear light and refined and remain proportionate to the building form. For shed, flat or gable end roofs over outdoor space, the overhang can be extended as long as the overall appearance is light and in keeping with the neighbourhood aesthetic.



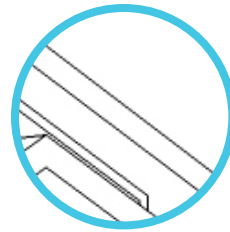
Roof Venting

Roof venting systems should be integrated into the roof design in a manner that minimizes visual prominence from the public realm.



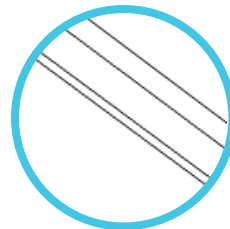
Rake and Fascia

Rake and fascia elements should remain refined in appearance and proportionate to the architectural expression of the home.



Soffits

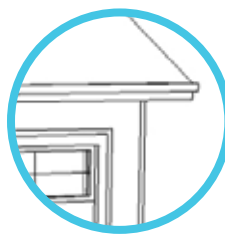
Soffits should be simple, refined, and integrated into the overall roof design. Exposed rafter tails are encouraged to provide more texture and variation - particularly on the front and rear of the homes. The rafter tails should appear light and refined.



Gutters and Downpipes

Gutters and downpipes should be simple in form and integrated into the overall architectural expression of the home.

The gutters and downpipes should complement the colour palette and architectural character of the home.



Colour

Roof colours should complement the overall architectural palette of the home. In general, roof colours should be in the grey, beige and black tones.



COLOUR PALETTE



FAÇADES

Building Façades and Heights

Within the building composition, the façade is divided up into a series of volumes and planes. The façade must not be on a continuous vertical plane, but must be divided into a series of planes with elements of the façade that come forward and others that recede.

Careful attention should be taken to balance the elements with one plane being more dominant than the others. Horizontal canopies or roof elements can help to connect the different surface planes together.

Homes located in corner lots or within visually prominent view corridors along the public street require special architectural detailing and finish treatment. Special care is necessary in order to minimize the visual impact of the home and integrate the form into its context.

Exterior Walls

Wall cladding should wrap complete building volumes from ground to the underside of the eaves.

Building Base and Foundation Walls

The form of each building volume is complete in terms of its expression and material application. Therefore, there is no strong delineation of a building base. For example, there is no stone base, change of material or horizontal banding dividing the façade into parts.

A limited base of stone along the edge of the front entrance and porch is acceptable – this may be done in conjunction with a planter wall. Also see Section 4 Landscape.

Concrete foundation walls must not be exposed beyond 4 inches above finished grade on the front and rear sides of the home. To eliminate unfinished foundation walls, concrete and stone-faced walls shall be continued down to grade and all other approved finish materials shall extend to where practical.

Tall Façades

Given the slopes on the site and the potential for 3 storey buildings, the roof forms have a direct impact on the scale and perceived height of the home.

On 3 story buildings access to the front door can be at grade, at half level or one story above grade. The preference is for the entrance to be at half level or one story above grade. Achieving this grade change on the exterior, blended with landscape walls and planters creates a stronger, more pleasing sense of entry and balances the overall façade.



OPENINGS

Entry Doors

The visibility and prominence of the front door to the street is an important element of identity to the home.

Canopy structures over the entry doors are encouraged to bring a strong presence to the street.

There should be a high quality of finish in and around the entry doors.

The entry doors should incorporate large simple panels of glass or if solid, glass side-lights adjacent to the door to bring a sense of openness to the home.

Door colour should match or be complementary to the windows and other details in the home, such as windows, fascias, exterior light fixtures and hardware.



Garage Doors

Garage doors should be understated, simple and elegant. Garage doors will be double or single wide doors, adequately framed by the façade of the home.

If glazed, the windows should be simple in either a vertical or horizontal pattern.

The garage door colour will be complementary to the color of the home so as to blend with the overall appearance and not stand out.

Oversized garage doors, defined as garage doors taller than 8 ft. or wider than 18 ft., may be considered by the Architectural Control Reviewer where appropriately integrated into the overall building design.



Windows

Well-detailed and proportioned windows will define the character of the home. Window orientation can be varied and should support the overall façade composition. Windows may be individual or grouped within a façade. Window style should be consistent on all elevations.

Homes on corner lots with exposed side elevations should incorporate openings to create an appealing façade.

Window colours should be complementary to the colour of the home.

Large picture windows should complement the overall composition and be balanced with areas of solid façade elements.

Shutters are allowed if proportional and contribute to the overall style of the home.



Wide Openings

Indoor-outdoor connections are important in creating the semi-rural, 'country style' character of the homes.

Large picture or operable windows or doors are encouraged. High quality sliding, bypass or bi-fold doors are acceptable.

Large openings may dominate a façade but should be framed with substantial wall surface on either side of the opening. Large operable openings should typically have some form of cover or shade associated with the opening.

Skylights and Light Tubes

The use of skylights and light tubes to bring light into the home through the roof is permitted.

Skylights should be glass and of a high quality. The position and appearance of the skylight should be simple and clean in keeping with the architectural character.



Finish Materials

The design of all homes should incorporate the use of one or more complementary materials on the exterior wall surfaces. As a diversity of material, form and color between homes is encouraged, the guidelines do not dictate one dominant façade finish material.

Without prescribing the use of specific building materials, the following list of exterior building materials, and their authentic detailing and application, are encouraged: vertical or horizontal siding, vertical board and batten siding, metal siding, metal panel, cement panel, stone veneer and stucco.

Materials changes should not occur within the same building plane or the same building volume.

Secondary or accent exterior wall materials relate specifically to design elements within the building.

All exterior wall materials should not have the appearance of being 'applied' or a veneer treatment.

The coursing pattern in which stone is laid is critical to the design and to the authentic appearance of the materials. Stone shall not be laid in a vertical coursing pattern. Flagstone patterning suitable for horizontal surfaces may not be allowed on vertical wall surfaces. Stones used on the corners of a building should give the appearance of a minimum thickness of 4 inches to avoid the appearance of a thin veneer.

All trim should be painted the same or a complementary colour to the home.

Vinyl or aluminum siding and similar synthetic cladding materials are discouraged.

Colours

The colour palette for the homes is inspired by nature; the surrounding colours in the environment and landscape and the distance vistas: grey, beige, earth-based brown, dark brown or black, grassland greens, and cooler colours inspired from the sky.

All colours on an individual home must be complementary and the colours must not clash with the surrounding homes or landscape. In general, all colours on the house should reflect the refined character of the architectural style.

Each home shall have one dominant colour with a second complementary exterior colour. Accent trim, windows and doors, hardware and light fixtures, trellises and shading devices may introduce an additional complementary colour. Window colour can be the same or in contrast to the colour of the siding for example if the house is white, the windows can be white, black or dark grey.

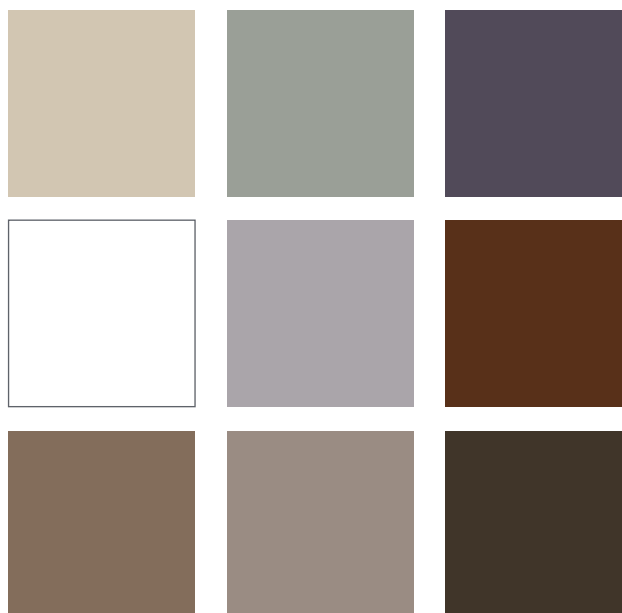
The colours applied to an object should relate to that object's material substance as much as possible. For example, a metal railing could be painted black, silver, or dark brown. These are colours that relate to a metal's substance and the process of metal production. The colour of stone cladding should relate as close as possible to the natural stone colours found on the site.

Natural wood on shading devices, trellises, screens or fences are acceptable and should be stained or painted in natural hues to complement and harmonize with the home and larger landscape.

Colours for exterior art-work, sculpture and any other special feature shall be of complementary tones chosen to blend rather than contrast with the home and its surroundings. No highly reflective finishes shall be used on any exterior surfaces, including door and window hardware, with the exception of glass, which may not be mirrored or coloured.



SAMPLE COLOUR PALETTE



DECKS, PORCHES AND TERRACES

Form

Decks, porches and terraces are necessary extensions of the home, providing outdoor rooms as extensions of interior spaces, that encourage indoor-outdoor living.

These spaces must be carefully designed as if part of the home itself extending practical, usable space into the outdoor environment. These spaces could be used as an outdoor living room, kitchen or barbecue area, outdoor dining, hot tub or pool.

All decks, porches and terraces must be consistent with the architectural style of the home. They should be integrated into the overall composition of the building and not appear tacked onto the home.

Structure

The structure of decks and porches should be clean and refined with appropriate columns and beams in keeping with the form and character of the building.

On 3 storey façades, second level decks should be supported in a substantial way with framed and clad structural support forming a base to the 2 stories above. Alternative structural expressions may be considered by the Architectural Control Reviewer where consistent with the architectural intent of the Guidelines.

Material

The surface material on decks porches and terraces should complement adjacent interior floor material. If appropriate, utilize the same interior material in a home's entrance out onto the entry landing and porch.

High quality concrete aggregate, stamped concrete, wood decks over a waterproof membrane and vinyl decks are acceptable.

Finish

Decks, porches and terraces should have a high quality of finish since these areas are of frequent use and visibility, contributing significantly to the overall sense of refinement appropriate to the style of the home.

All decks should have a finished soffit of stained or painted wood panels or bead board.

Also see Section 4 Landscape.



OUTDOOR STAIRS & LANDINGS

Form

Outdoor stairs and landings will contribute to an indoor-outdoor lifestyle and the connection of the home to outside yards and terraces.

The form of outdoor stairs and landings must be well integrated into the architecture and landscape design of the home so as not to stand out and become a dominant feature.

As it is likely that most stairs and landings will interface with side yards, careful consideration must be given to these conditions and their impact on neighbour's homes and privacy.

Structure

The structure of the stairs utilized at the entry to the home must be concrete / masonry.

The supporting structure of the stairs must not be elevated, but must appear to be an extension of the ground, built into walls and planters.

The structure of a stair at the rear of the home can be wood or steel. The overall structure of the stair and landings should tie into the materials of the home including posts and beams, stringers, railings and surface material.

Material

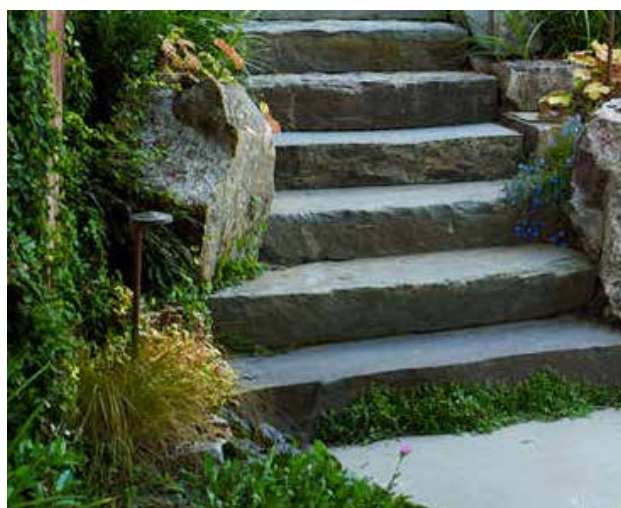
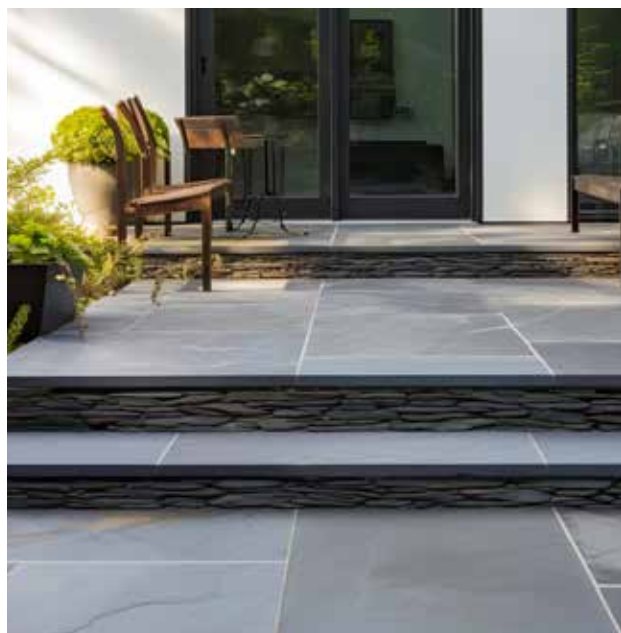
All stairs, risers and treads will be composed of high quality finish materials such as aggregate, tile, stone or painted wood or smooth concrete or smooth coloured concrete.

Finish

The finish for stairs and landings should tie into the refined and clean language of the architecture.

Careful attention should be given to exposed flashing, joints and railing connections to maintain a clean and refined appearance.

Also see Section 4 Landscape.



DETAILS

The neighbourhood character should remain clean, refined, and responsive to Anmore's semi-rural context.

Variation can be brought to each home by the character direction and attention to detail. The details which will influence these variations are door and window style, garage door style, exposed structural supports (wood vs. metal), chimney caps etc. These elements can be used in order to give each house a distinctive and consistent character. Also see Section 4 Landscape.

Address Numbers

The character and colour of the exterior address numbers should match other exterior elements in the home such as the windows, hardware, railings and exterior lighting. Address numbers should be illuminated at night.

Trim

Building trim should be minimal and match or be in contrast to the colour of the adjacent wall material.

Hardware and Exterior Lighting

The character and colour of the hardware should match other exterior elements of the home such as windows, awning brackets and house numbers.

Railings

Railing should only be placed where required by code, and where needed, should be refined and contemporary in style. The colour of the railing structure should match the colour of windows and/or other details on the house such as hardware and exterior light fixtures.

If a front porch is close to natural grade, railings should not be applied as a decorative element.

Chimneys

Exterior chimneys shall extend down to the finished landscape grade. Fireplaces and other chimney chases must be finished in stone, or in materials similar to the materials used for the exterior finish of the home. Chimneys finished in materials other than stone should incorporate trim materials that are complementary to those used on the exterior façade of the home.

The character and colour of the chimney caps should be complementary to other exterior elements in the home such as windows, hardware, fascia, railings, exterior lighting and house numbers.

In the case of 'zero clearance' and/or 'direct venting' gas fireplaces, vents shall be located away from view-sensitive façades (i.e. the front façade of a home).



MISCELLANEOUS

Antennae and Satellite Dishes

There should be no antennae or satellite dishes of any sort visible from roads or other public areas.

Home Security Systems

The use of exterior security systems and security doors is permitted, unless they alter the integrity of the architectural design of the home. Exterior bars and blinds are not permitted.

Accessory Structures

Accessory structures including trellises, garden pavilions, hot tub pavilions or outdoor barbecue/ kitchen shelters can help create a fine-grained collection of structures and better relate the large masses of residential architecture to the landscape. Accessory buildings should be visually connected to the home by walls, terraces or major landscape elements and should have a complementary colour and material palette.

Energy Step Code

All homes shall comply with applicable BC Building Code energy efficiency requirements in effect at the time of permit application.

Septic Systems

All lots are to be adequately serviced to effectively treat effluent on site. The placement of the systems is specific to each lot and takes into consideration the slope and geotechnical conditions of the lot.

FireSmart

All new homes are encouraged to integrate the FireSmart principles. These include management of vegetation, the development of defensible space, firebreaks and the use of appropriate building and landscape materials.

Hvac and Air Conditioning Units

Air conditioning units or other mechanical hardware must not be visible from the street. Sound proofing is required on all operating mechanical equipment which may affect adjacent properties. No window-mounted air conditioning units are permitted.

Solar Panels Or Shingles

Solar panels or shingles are encouraged as a renewable energy source. They must be well integrated into the design of the roof and fit with the overall scale and aesthetic of the building.



LANDSCAPE DESIGN GUIDELINES

The landscape of the neighbourhood is inspired by the existing landscape character. The landscape guidelines intend to align with the natural setting and semi-rural character of the Village of Anmore.

Planting of native and non-native appropriate hardy plant material will reinforce this new landscape acumen. The goal is for the neighbourhood to be a place of integrity offering a sustainable approach to development.

The Guidelines have been established for all landscape work including planting, materials, structures, and features, to deliver a seamless transition between private and public landscape areas.





LANDSCAPE PRINCIPLES

The private landscape of the home should be attractive, seasonally sensitive, blend naturally and seamlessly with the public landscape, and be of a high quality.

The front and back yards shall be treated as an extension of the surrounding green spaces to situate the home in a naturalized setting. The design of these areas shall be treated with the thoughtful organic arrangement of planting and hard surface where the overall neighbourhood reads as one landscape experience.

The arrival sequence to the home from the street shall be a seamless, unified composition. The relationship between indoor and outdoor spaces shall reinforce the strong visual and physical connection between both. Living spaces shall extend to the back yard terraces, reinforcing this indoor/outdoor relationship. The architectural aesthetic shall inspire a landscape aesthetic that is responsive and complementary.

Plant selection will utilize a native and locally appropriate palette providing texture, seasonal colour and scale. Hard landscape elements should be consistent in their use of natural materials and reinforce the design language. In addition the landscape should:

- Avoid the traditional suburban landscape of manicured lawns, ornamental plantings and groomed edges with a sensitive, sustainable alternative.
- Define the residential private landscape with the incorporation of stone walls, address panels, privacy screens and paving materials.
- Traditional lawn areas should be minimized and replaced with plantings and ground covers to promote sustainability.
- Consider organic planting patterns reminiscent of the existing vegetation with appropriate groupings of species. Hard landscape in the form of paths or outdoor rooms for seating and gathering should appear to be situated within a natural landscape setting.
- Retain existing mature, healthy trees and unique landscape features if possible.
- Promote resident and visitor safety. Where stairs are required provide appropriate riser/tread ratios, non-slip surfaces and handrails where required.



PRIVATE YARDS

The private open space shall be designed to define the front, side and back yards of each home as integral outdoor rooms within the surrounding landscape context. Existing features should be incorporated into the landscape design where appropriate. Designs should maximize the use of organic forms and natural patterns.

Elements like stone walls, address panels, privacy screens, paved or gravel outdoor rooms and natural plantings are the defining elements of the residential lots. These elements are to be incorporated in the side and back yards to bring continuity and a unified design. Side yard retaining walls should consider natural stone materials, concrete or geo-modular systems.

Townhome front yards should incorporate landscaping, terraces, low fencing, planting beds, or similar elements to create a comfortable transition between public and private space.

Asphalt paving, landscape timber ties or large block wall systems are prohibited. Also see Section 2 Site Development.

Garden Walls

Garden walls are to be a maximum of 4.0 ft in height constructed of natural stone or boardform concrete. Lower walls at a height of 450mm (18 inches) and 500mm in width are encouraged to provide a variety of height and interest. In the back yards, the lower walls can provide seating as well as retaining. They are to be constructed of stacked and reinforced concrete block with a stone facing, or boardform concrete or in the case of the back yard rear lot line dry stack walls can be used. Also see Section 2 Site Development.

Gravel

Gravel shall be of a 25mm (1 inch) minus clear crusher run granite. It shall be of a minimum depth of 50mm (2 inches) and defined by PVC edging as per manufacturer's specifications.

Paving

Paving material should be natural, robust, durable, and have a vandal-resistant composition and construction. Paving types will help unify and strengthen the visual quality of the common and private open spaces and provide visual indicators of transitions between the public and private realms.

The use of flagstone, pre-cast concrete pavers, gravel, or a stamped textured concrete pattern in driveways is encouraged. Also see Section 2 Site Development.

Decking

Decking materials shall be a green sustainable product such as IPE or a synthetic wood composite in plank form, or smooth or smooth coloured concrete. The colour of decking is to be complementary to the architectural aesthetic of the home. Also see Section 2 Architecture.

Address Panel

The address panels provide the home number. They may be designed as an independent element placed in conjunction with stone walls in the yard. They shall be constructed of board form concrete, natural local coloured stone or cedar. Colours and textures should be consistent with the colour palette of the home. All fasteners shall be powder coated and/or galvanized metals. Also see Section 2 Architecture.

The numbers shall be of a corten or rust resistant metal mounted proud. Landscape lighting shall be incorporated into the wall or screen to light the address panel.

Landscape Lighting

Landscape lighting shall be used for the address panel and is encouraged for highlighting garden features, structures, and stairs. The use of low voltage LED lighting and/or solar units shall be used. Night sky policies should be taken into consideration. Also see Section 2 Site Development.



Structures

Gazebos, trellises, screens and gates that relate to and are natural extensions of the home are encouraged. As vine covered landscape structures are effective ways in providing needed shade and reducing peak solar gains, placing them on south and west facing exposures is encouraged. The style, materials and colour of all landscape structures should match or complement the home. Also see Section 2 Architecture.

Privacy Screen/Fencing

Privacy screens shall be an extension of the architectural expression of the home. Privacy screening is permitted within close proximity of the home to screen patios, decks and/or seating areas.

Privacy screens shall not be designed as an impermeable wall. Screening shall be a maximum height of 4.5 ft (1.37 m). Permitted screening materials include stained or finished wood, frosted glass or dark contemporary styled metal. Vinyl or PVC screening is not permitted. Also see Section 2 Site Development.



TRANSITION AREAS

The transition areas include the landscape boulevard, side yards between home and the back yard 2:1 slope condition beyond patios to the rear property lines.

Landscape Boulevard

Landscape will need to be carefully incorporated on the residential lots owing to the boulevard use as a service corridor which restricts the planting of trees.

Back Yard Slopes

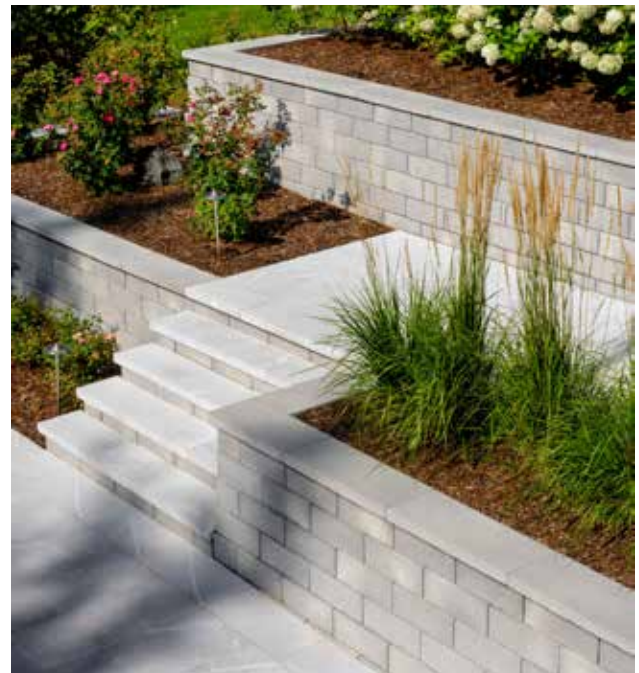
Low garden walls, privacy screens, gravel and plantings shall be incorporated to provide design integrity with the front yard. Paving of the patios shall incorporate natural stone materials, precast concrete slabs or scored concrete or sustainable wood decking. Additional structures such trellis' and gazebos are encouraged for shade and solar gain reduction. Also see Section 2 Site Development.

Steep sloping back yards transition areas shall incorporate native grassland and trees plantings to help retain slopes and integrate with the landscape. Also see Section 2 Site Development.

Swimming Pools, Lap-Pools & Hot Tubs

Swimming pools, lap-pools and hot-tubs, shall be visually connected to the home through walls, courtyards and/or landscape structures and plantings. In-ground pools, lap-pools, and hot tubs are subject to review by the Architectural Control Reviewer, while above-ground pools are prohibited. Colours shall be consistent with the colour palette of the home.

Pools and/or lap-pools must be constructed according to government regulations with a pool barrier and gates. All pool plans submitted for approval must show a room or vault for pool equipment. All designs shall require review and approval of a BC Licenced Geotechnical Engineer and the Architectural Control Reviewer.



Side Yards

The side yards serve as grade transitional areas. In some cases they incorporate pedestrian stair access from front to back yards. Pedestrian access stairs where required shall be a 0.6m wide stair system. The use of green vegetated retaining systems should be considered to handle the grade change. Shrubs or trees shall be planted in these areas to provide a green screen between units.

Side yard grade transition areas shall be designed with consideration of home window locations to maximize sunlight penetration to the homes. Gravel will be used to provide a drainage area for the residential lots.

Refer to Grade Changes/ Retaining in Private Yards Section for options of grade treatment. Also see Section 2 Site Development.

PLANTING

To further protect, enhance and manage the existing environment of the neighbourhood, care should be taken to protect existing, healthy plant material (especially mature trees). Stressed, diseased, or otherwise compromised plant material should be removed or rehabilitated.

Planting Guidelines

All landscaping should retain existing vegetation wherever possible and use native or non-native appropriate hardy plant materials as outlined in the Planting Palette section. The palette emphasizes low-maintenance selections requiring little or no irrigation or fertilization. When possible, all plants should be sourced locally.

Final plant selection should be made in light of regional environmental constraints and recent conditions. Alternative plant selections may be considered by the Architectural Control Reviewer where consistent with the overall landscape intent of the Guidelines.

Proposed plantings should enhance and frame views to the larger natural landscape. Additionally, plants may be used to visually screen adjacent properties for added privacy and, where required, should consist of a mix of deciduous and evergreen trees.

All landscaping materials installed must comply with the following minimum size standards, unless otherwise approved by the Architectural Control Reviewer:

- **Deciduous trees:** a minimum 5cm calliper and 3.6 m (12 ft.) high;*
- **Evergreen trees:** a minimum 5cm calliper and 3.0 m (10 ft.) high;
- **Shrubs and vines:**
 - A minimum #7 pot or 1 m (40 in.) high for specimen shrubs;
 - A minimum #5 pot for structural ('space defining') shrubs;
 - A minimum #2 pot for mass planted shrubs & vines.

** Dependent upon plant species and availability*

Special attention should be given to protect trees and shrubs from snow clearing and storage during winter months.

Proposed plant material should comply with local fire code and wildfire covenant requirements with respect to species selection and spacing. All plant material and installation shall comply with the British Columbia Landscape Standard.



Prohibited & Approved Plants

To ensure integrity of natural habitat, plant species shall be controlled and adhered to. A list of recommended plant species, including native or non-native appropriate hardy species are outlined in Planting Palette Section. Alternative plant species may be considered by the Architectural Control Reviewer where appropriate to the site conditions and landscape character.

Maintenance & Irrigation

Installation of appropriately designed, fully automated, drip irrigation systems, as per the British Columbia Landscape Standard, may be incorporated.

Homeowners shall be responsible for the maintenance of front yards including the landscape boulevard.

Owners must exercise extreme diligence in maintaining Homesites in a neat and presentable fashion, free and clear of litter. Planting areas shall be warranted for one year of growth from installation and shall be healthy and thriving.

Site features and elements, hard surfaces, irrigation and lighting systems shall be functional and operational as designed and kept in a condition that enhances the design and intended use of the site.

The use of compost and extensive mulching shall be employed to conserve moisture and prevent evaporative water loss.

Maintenance operations shall follow ecologically sound practices such as integrated pest management, plant health care, composting, fertilizing and the application of organic mulches.

Maintenance for newly established landscapes shall focus on producing healthy plant growth toward desired mature forms and an increase in size.

SUSTAINABILITY FEATURES

Rain water collection shall be retained on site as much as possible. Reducing off-site drainage will reduce demands on the stormwater management system and will also reduce the irrigation requirements.

Use of swales, permeable material such as gravel and the incorporation of water collection systems such as cisterns or rain barrels will achieve this goal. The use of Flex MSE TM Vegetated Wall Systems, as an alternative to stone faced retaining walls is encouraged. This Geo-modular system is a cost effective green sustainable alternative.



PLANTING PALETTE

The suggested planting palette for the neighbourhood is based on:

- Retention and reinforcement of the existing ecosystems;
- Introduction of plant species to encourage birds, bees and butterflies to thrive; and
- Planting of native and non-native appropriate shrubs and grasses.

Trees

<i>Acer macrophyllum</i>	Big Leaf Maple	<i>Cornus nuttallii</i>	Pacific Dogwood
<i>Rhamnus purshiana</i>	Cascara	<i>Picea Sitchensis</i>	Sitka Spruce
<i>Pseudotsuga menziesii</i>	Douglas Fir	<i>Acer circinatum</i>	Vine Maple
<i>Salix</i>	Native Willow Species	<i>Thuja plicata</i>	Western Red Cedar

Shrubs/Perennials

<i>Mahonia nervosa</i>	Low or Dull Oregon Grape	<i>Spiraea douglasii</i>	Hardhack
<i>Maianthemum dilatatum</i>	False Lily of the Valley	<i>Philadelphus Lewisii</i>	Mock Orange
<i>Allium cernuum</i>	Nodding Onion	<i>Rosa nutkana</i>	Nootka Rose
<i>Aquilegia formosa</i>	Red Columbine	<i>Symphoricarpos albus</i>	Common Snowberry
<i>Polystichum munitum</i>	Sword Fern	<i>Mahonia aquifolium</i>	Tall Oregon Grape
<i>Achillea millefolium</i>	Yarrow	<i>Holodiscus discolor</i>	Oceanspray
<i>Rosa gymnocarpa</i>	Baldhip Rose	<i>Physocarpus capitatus</i>	Pacific Ninebark
<i>Corylus cornuta</i>	Beaked Hazelnut		



Pacific Dogwood



Vine Maple



Sitka Spruce



Nootka Rose



Yarrow



Tall Oregon Grape

DESIGN GUIDELINE REVIEW & APPROVAL PROCESS

1. Initial Contact & Fee Submission

The applicant contacts the Architectural Control Reviewer (ACR) to initiate the review process:

- Schedule the design guideline review
- Submit the Design Review Fee of \$2,500 (2026), with annual increases at 5% to account for inflation
- Confirm project address, scope, and anticipated timelines.

2. Submission of Required Drawings

The applicant provides all required materials, which shall include:

- Site plan with parcel line, building footprint, dimensions of building location, all proposed hardscape elements such as driveway, walks, fences and walls, septic system, and site grading for drainage.
- Floor plans of each level to scale
- Elevations with Materials and colour board
- Landscape plan and plant palette
- Any additional documents to assist with the Guideline Review

3. Consultant Review & Feedback

The ACR reviews the submission for compliance with the Design Guidelines. A written summary of comments, required revisions, and compliance notes are provided to the applicant.

4. Resubmission (If required)

If revisions are necessary, the applicant updates the drawings and resubmits them for further review. Additional rounds of review may occur until the submission meets guideline requirements.

5. Preliminary Approval Checklist for Building Permit

Once the design is deemed compliant, the ACR issues a Preliminary Approval Checklist confirming that the project meets the Design Guidelines. This document will be required as part of the Building Permit application.

6. Construction Phase Compliance Review

During construction, the ACR will conduct one or more site visits to verify that the built form, materials, and detailing match the approved design.

7. Final Approval Checklist

Upon completion, the consultant performs a final site review. If the project complies with the approved design, the consultant issues a Final Approval Checklist, which will be required prior to occupancy or final inspection.

Architectural Control Reviewer:

Steven Beyer - beyer@ekistics.ca

Ron Baerg - baerg@ekistics.ca

EKISTICS Town Planning

#201-103 West 6th Ave., Vancouver, BC

T: (604)739-7526 www.ekistics.ca

PINNACLE RIDGE DESIGN GUIDELINES CHECKLIST

Applicant:			
Property Address:			
Section	Comments	Preliminary Approval	Final Approval
2. Site Development			
Site Drainage			
Site Grading			
Driveways			
Walkways			
Lighting			
Walls / Fences			
Recreational Equipment			
Retaining Walls			
Service Areas			
3. Architecture			
Building Form			
Roofs			
Facades			
Openings			
Decks, Porches, Terraces			
Outdoor Stairs, Landings			
Details			
Miscellaneous			
4. Landscape			
Private Yards			
Transition Areas			
Planting			
Sustainability Features			
Plant Palette			
Reviewing Consultant:		Date:	Date:

Preliminary Approval intended to show the applicants design drawings have met the intent of the design guidelines and is approved to proceed with permitting. Final Approval intended to show the applicant has met the intent of the design guidelines through construction and is approved as final inspection.



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